



WILL COUNTY LAND USE DEPARTMENT 2018 CONTRACTOR REGISTRATION

58 E. Clinton St., Suite 100 • Joliet, Illinois 60432
Telephone (815) 727-8634 • Facsimile (815) 727-8638

Internet Site - <http://www.willcountyillinois.com/County-Offices/Economic-Development/Land-Use>

Contractor License Number: CR-_____

Business Information			
Name of Business			
DBA			
Business Address	<i>Number & Street:</i>		
	<i>City:</i>	<i>State:</i>	<i>Zip Code:</i>
Contact Information	<i>Phone:</i>	<i>Fax:</i>	<i>Email:</i>
Owner Information			
Name of Owner			
Owner Address	<i>Number & Street:</i>		
	<i>City:</i>	<i>State:</i>	<i>Zip Code:</i>
Contact Information	<i>Phone:</i>	<i>Fax:</i>	<i>Email:</i>
Contractor Type	Fee	Fee After July 1st	
General Contractor	\$150.00	\$75.00	
General Contractor with Trades	\$250.00	\$125.00	
Sub Contractor	\$75.00 (Per Trade)	\$40.00	
Trades			
Alarm *	Carpentry	Tower	Concrete
Damp / Water Proofing	Demolition	Drywall	Electrical *
Elevator / Lift *	Excavation	Fire Suppression *	Gutter, Fascia, Soffit
HVAC	Insulation	Lathing and Plastering	Lawn Irrigation *
Manufactured Home Installer *	Masonry	Mechanical Piping, Boiler, and Steam Fitting	Plumbing *
Roofing Contractor – Limited*	Roofing Contractor – Unlimited*	Siding	Sign
Solar Energy	Structural Steel	Swimming Pool	Wind Energy
Window and Door	* State license or trade license required to be submitted		

SURETY BOND: A permit bond or surety bond payable to the County of Will in the amount of \$10,000 is required for all contractors except for plumbing contractors and fire alarm contractors. The surety bond shall identify the contractor type and trades being performed. An original bond (no faxes, emails, or copies) must be submitted.

CERTIFICATE OF LIABILITY INSURANCE: A certificate of liability insurance shall be submitted by all contractors except for plumbing and fire alarm contractors. Will County shall be named as the holder. The minimum general liability coverage is \$1,000,000.

WORKMAN'S COMPENSATION: The certificate of liability insurance shall identify workman's compensation coverage except for plumbing and fire alarm contractors. If you are a sole proprietorship with no employees, you may request an affidavit to be completed to waive workman's compensation.

PLEASE READ THE FOLLOWING PROVISIONS AND SIGN BELOW:

1. In accordance with the Will County Contractors Registration, Bonding, and Insurance Ordinance, contractor registration shall be revoked upon expiration of general liability insurance, workman's compensation, bonds, and / or trade licenses.
2. Contractor registration may be revoked by the Will County Land Use Department for any violation of any of the provisions of the Will County Contractors Registration, Bonding, and Insurance Ordinance. The Will County Land Use Department may also refuse to issue a registration in the event that any provision of the Will County Contractors Registration, Bonding, and Insurance Ordinance has been violated.
3. Contractors that violate or fail to comply with any provision of the Will County Contractors Registration, Bonding, and Insurance Ordinance are subject to a fine not less than \$50.00 and not more than \$500.00 for each offense.
4. Electrical contractors and plumbing contractors are required to submit a letter of intent prior to performing work. If during construction, the electrical contractor or plumbing contractor changes, a stop work order will be issued until a letter of release is submitted.
5. The contractor is hereby put on notice of the following Will County codes and ordinances and agrees to fully comply with the same:

2014 Will County Building Ordinance
2012 International Residential Code, as amended
2012 International Building Code, as amended
2012 International Fire Code, as amended
2012 International Mechanical Code, as amended
2012 International Fuel Gas Code, as amended
2011 National Electric Code, as amended
2014 Illinois State Plumbing Code
2015 International Energy Conservation Code, as amended by the State of Illinois
1997 Illinois Accessibility Code
Will County Contractors Registration Bonding and Insurance Ordinance

Print name _____ **Signature** _____ **Date** _____



WILL COUNTY LAND USE DEPARTMENT
58 E. Clinton Street, Suite 100 • Joliet, Illinois 60432
815/774-3321 • Fax: 815/727-8638

December 1, 2017

Dear Contractor:

Thank you for registering with the Will County Land Use Department for 2018. You are receiving this letter because you have registered as a siding, and / or window and door contractor. I would like to take this opportunity to identify some specific requirements for siding permits. While not an exhaustive list of all requirements associated with siding permits, the following requirements have been identified as the prevailing reasons for failed inspections.

The Will County Land Use Department began conducting drainage plane inspections on re-siding permits in January of 2015. This drainage plane inspection is in addition to a final inspection and must be performed prior to affixing the exterior wall covering. The drainage plane inspection is being performed in accordance with Sections 703.1.1.1, 703.2, and 703.8 of the 2012 International Residential Code. The drainage plane inspection will include the following:

- Water-resistive barrier complying with ASTM D 226. The water-resistive barrier shall be applied horizontally with the upper layer lapped over the lower layer at least 2 inches. All seams shall be taped.
- The water resistive barrier shall be installed in accordance with manufacturer installation specifications. Please review the manufacturer installation specifications and install accordingly. If the manufacturer installation specifications prohibit the use of staples, or identify a minimum staple crown size, those requirements will be enforced by the Land Use Department.
- Exterior window and door openings shall be flashed in accordance with the fenestration manufacturer's installation and flashing instructions, or in accordance with the flashing manufacturer's instructions. Most specifications specify a self adhering butyl flashing tape and have specific guidelines for preparing the water resistive barrier at the rough opening.
- Do not attach pan flashing to the water resistive barrier. Pan flashing must be attached to the wooding framing below the window.
- Proper rough opening preparation and window flashing installation can be observed utilizing the following link: <https://www.youtube.com/watch?v=aW2C1FN7yok&nohtml5=False>

The Land Use Department looks forward to working with you in 2018. Should you have any additional questions regarding this matter, please do not hesitate to contact me. I can be reached by telephone at 815-774-3367 or by email at msmetana@willcountylanduse.com.

Respectfully,

Michael Smetana, AICP
Chief Building Official and Building Division Director



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December 1, 2017

Dear Contractor:

Thank you for registering with the Will County Land Use Department for 2018. You are receiving this letter because you have registered as a roofing; and / or gutter, fascia, and soffit contractor. I would like to take this opportunity to identify some specific requirements code requirements that are enforced. While not an exhaustive list of all requirements associated with roofing permits, the following requirements have been identified as the prevailing reasons for failed inspections.

Roofing permits require a final inspection and are subject to the 2012 International Residential Code and 2012 International Building Code, as amended by the 2014 Will County Building Ordinance. Code requirements include, but are not limited to, the following items:

- Kick-out flashing / diverters at all roof and wall intersections. Please refer to *Figure A*.
- Ice dam protection is required and shall extend from the roof edge to 24 inches beyond the exterior wall line.
- No more than two roof covering layers are permitted
- Roof sheathing shall be repaired or replaced if damaged. If more than 50% of an existing roof line requires replacement, the entire roof line sheathing shall be 5/8" if framed 24" on center or 7/16" if framed 16" on center.
- Asphalt shingles shall be used only on roof slopes 2:12 or greater. For roof slopes 2:12 to 4:12, double underlayment application is required. Double underlayment shall be created by overlapping successive sheets by 19 inches.
- Existing flashing, edgings, outlets, vents, or similar devices that are part of the roof assembly shall be replaced when rusted, damaged, or deteriorated. Bituminous materials shall adhere to metal flashing.
- Commercial roofing is subject to the 2015 International Energy Conservation Code, as amended by the State of Illinois.
- A drip edge shall be provided at the eaves and gables. Adjacent pieces shall be overlapped a minimum of 2 inches. Drip edges shall be mechanically fastened to the roof deck at a maximum of 12 inches o.c. Underlayment (ice and water shield) shall be installed over the drip edge along eaves and under the drip edge on gables (rakes). Please refer to *Figure B*.

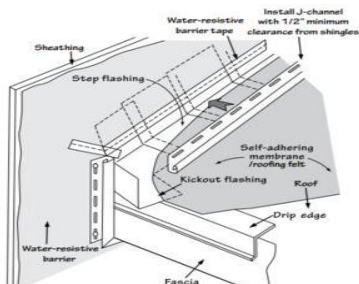


Figure A

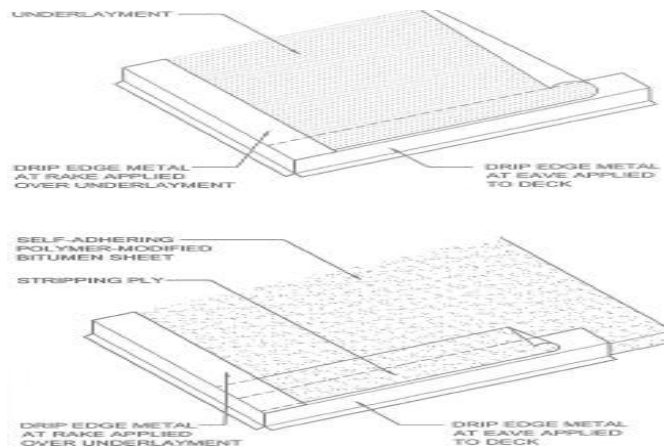


Figure B

The Land Use Department looks forward to working with you in 2018. Should you have any additional questions regarding this matter, please do not hesitate to contact me. I can be reached by telephone at 815-774-3367 or by email at mismetana@willcountylanduse.com.

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December 1, 2017

Dear Contractor:

Thank you for registering with the Will County Land Use Department for 2018. You are receiving this letter because you have registered as an electrical contractor. I would like to take this opportunity to identify several electrical code requirements for Unincorporated Will County. While this is not an exhaustive list of all code requirements, the following requirements have been identified as the prevailing reasons for failed inspections.

- Installation of a concrete encased electrode in accordance with Sections 250.50 and 250.68(B) of the 2011 National Electric Code is required. The electrode shall be a minimum of 20 feet or more #4 rebar or 4AWG bare copper conductor encased in a minimum of 2 inches of concrete installed horizontally located within and near the bottom of the footing that is in direct contact with the earth.
- In accordance with Section 406.12 of the 2011 National Electric Code, all non locking- type 125-volt, 15- and 20- ampere receptacles shall be listed tamper resistant receptacles. Receptacles more than 5 ½ feet above the floor, receptacles that are part of a luminaire or appliance, and a single receptacle or duplex receptacle for 2 appliances within a dedicated space unlikely to be moved are exempt.
- In accordance with Section 210.12 of the 2011 National Electric Code, All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter, combination-type, installed to provide protection of the branch circuit.

Will County is under the 2011 National Electric Code, as amended by the 2014 Will County Building Ordinance. A PDF of the 2014 Will County Building Ordinance and amendments to the 2011 National Electric Code can be requested from the Land Use Department. It can also be obtained by navigating to the following site:

<http://www.willcountyillinois.com/County-Offices/Economic-Development/Land-Use/Building-Division/ItemId/457>

The Land Use Department looks forward to working with you in 2018. Should you have any additional questions regarding this matter, please do not hesitate to contact me. I can be reached by telephone at 815-774-3367 or by email at msmetana@willcountylanduse.com.

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December 1, 2017

Dear Contractor:

Thank you for registering with the Will County Land Use Department for 2018. You are receiving this letter because you have registered as a concrete contractor. I would like to take this opportunity to inform you that the current Will County Building Ordinance requires installation of a concrete encased electrode in accordance with Sections 250.50 and 250.68(B) of the 2011 National Electric Code.

- The electrode shall be a minimum of 20 feet or more of #4 rebar or 4AWG bare copper conductor encased in a minimum of 2 inches of concrete installed horizontally located within and near the bottom of the footing that is in direct contact with the earth.

The Land Use Department is committed to performing all pre-pour inspections in a timely manner as to not delay concrete delivery / pour times. Pre-pour inspections are mandatory for post holes, footings, trench foundations, foundations and piers, interior slabs at grade, interior slabs below grade, and concrete stairs. To help the Land Use Department with this commitment, please identify the time in which you will be ready for inspection and the time in which you are scheduled to begin pouring concrete when calling in the pre-pour inspection.

Pouring without a pre-pour inspection is prohibited and subject to penalty. Pre-pour photos are not acceptable evidence of compliance. The Land Use Department looks forward to working with you in 2018. Should you have any additional questions regarding this matter, please do not hesitate to contact me. I can be reached by telephone at 815-774-3367 or by email at mismetana@willcountylanduse.com.

Respectfully,

Michael Smetana, AICP
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December 1, 2017

Dear Contractor:

Thank you for registering with the Will County Land Use Department for 2018. You are receiving this letter because you have registered as a carpentry contractor. I would like to take this opportunity to identify some specific code requirements. While not an exhaustive list of all code requirements, the following items have been identified as the prevailing reasons for failed inspections.

- Water-resistive barrier complying with ASTM D 226. The water-resistive barrier shall be applied horizontally with the upper layer lapped over the lower layer at least 2 inches. All seams shall be taped.
- The water resistive barrier shall be installed in accordance with manufacturer installation specifications. Please review the manufacturer installation specifications and install accordingly. If the manufacturer installation specifications prohibit the use of staples, or identify a minimum staple crown size, those requirements will be enforced by the Land Use Department.
- Exterior window and door openings shall be flashed in accordance with the fenestration manufacturer's installation and flashing instructions, or in accordance with the flashing manufacturer's instructions. Most specifications specify a self adhering butyl flashing tape and have specific guidelines for preparing the water resistive barrier at the rough opening.
- Do not attach pan flashing to the water resistive barrier. Pan flashing must be attached to the wood framing below the window.
- Proper rough opening preparation and window flashing installation can be observed utilizing the following link: <https://www.youtube.com/watch?v=aW2C1FN7yok&nohtml5=False>
- A 1/8" gap shall be provided in roof sheathing in accordance with manufacturer specifications.
- When cutting supports for headers framed using conventional lumber, leave the supports 1/8" to 1/4" long to account for shrinkage of the header. Wood shrinks more in the tangential direction.
- Handrails and guardrails are not the same.
 - Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Handrails shall be returned or terminate in newel posts or safety terminals. Handrails adjacent to a wall must have a space of not less than 1 1/2 inch between the wall and handrail. Handrails must be graspable in accordance with Section R311.7.8.3 of the 2012 International Residential Code.
 - Guardrails shall be located along open sided walking surfaces, including stairs, ramps, and landings, that are located more than 30 inches in height. Required guards shall not be less than 36 inches in height above the walking surface. Guards on open sides of stairs shall be not less than 34 inches in height. If a guard also serves as a handrail, the guard shall be not less than 34 inches in height and not more than 38 inches in height. In this situation, the guard must be graspable.
- On decks, lateral load connection shall be accomplished by connecting to the house flooring system with hold down tension devices in 2 locations per deck. Each device shall have a 1,500 lb. capacity. Exceptions include self supporting decks swayed in every direction or four evenly spaced clips connecting the bottom of the joist to the wall plates, foundation, rim joist, window, or door header. Each clip shall have a 750 lb. capacity.
- Pool barrier requirements as set forth in Appendix G of the 2012 International Residential Code are enforced. Please review these requirements prior to constructing stairs and decks for above ground swimming pools. Landings are required and gates cannot compromise minimum landing dimensions.

The Land Use Department looks forward to working with you in 2018. Should you have any additional questions regarding this matter, please do not hesitate to contact me. I can be reached by telephone at 815-774-3367 or by email at mismetana@willcountylanduse.com.

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